



AGENDA

SPECIAL MEETING OF THE MAYWOOD PLANNING COMMISSION

WEDNESDAY, SEPTEMBER 20, 2023 AT 7:00 PM

Maywood City Council Chambers
4319 E. Slauson Avenue, Maywood, CA 90270
www.cityofmaywood.org

I. Meeting Procedure PC

PUBLIC ADVISORY: This meeting will be conducted in person and by video-conferencing pursuant to the provisions of Government Code Section 54953(e) (as amended by AB 361), which authorizes teleconferenced meetings under the Brown Act in compliance with Government Code Section 54953(e) during a proclaimed State of Emergency. For this meeting, it will be conducted through a hybrid combination of in-person and/or virtual attendance of the members of the Planning Commission and invited staff at City Hall in the City Council Chambers located at 4319 E. Slauson Avenue and via teleconference using the Zoom platform and broadcasted live on the City's Facebook page. The public may participate in person and or by using the virtual platform (Zoom).

Public Participation options:

1. **In-Person** - Council Chambers located at 4319 E. Slauson Avenue, Maywood, CA

2. **Zoom:** Please click the link below to join the webinar:

<https://us02web.zoom.us/j/84920922076?pwd=R1FUNKJvQ0INejVlcDJuMXRpZUOrQT09>

Passcode: 229210

Public Comment using a virtual platform: join in through the link provided above. Use the "raise hand" feature (for those joining by phone, press *9 to "raise hand") during the public participation period for agenda items or during the public participation period for non-agenda items. The Zoom Host will call on people to speak by name provided or last 4 digits of phone number.

3. **Phone:** 1-669-900-6833 Enter Meeting ID: 849 2092 2076 Passcode: 229210

Public Comment for those joining by phone, use the “raise hand” feature by pressing *9 during the public participation period for agenda items or during the public participation period for non-agenda items.

4. **Before the Meeting:** Public comment will be accepted for the record in advance by 4:30 pm the day of the meeting by email to calvin.ko@cityofmaywood.org; or if you are unable to email, please call the City Clerk's Office at (323) 562-5714. Your comment will be made part of the written record but will NOT be read verbally at the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in the Council meeting, please contact the City Clerk's Office, (323) 562-5714 within 48 hours of the meeting.

II. CALL TO ORDER/ROLL CALL

COMMISSIONERS

Raul Rodriguez, Chairperson
Alfredo Morales, Vice Chairperson
Crystal Acosta
Diego Jimenez
Angelina Martinez

STAFF

Steve Fowler, Director of Building and Planning
Lindsay Thorson, Assistant City Attorney
Calvin Ko, Assistant Planner

III. APPROVAL OF AGENDA

IV. PUBLIC COMMENT (Time allotted: 3 minutes)

At this time, members of the public may address the Commission regarding the items not on this Planning Commission agenda. The Commission cannot discuss or take actions on any items not on the agenda unless authorized by law. If you want to comment during the public comment portion of the agenda, you agenda may use the instructions provided in section **III. MEETING PROCEDURES** beginning on page 1 of this agenda.

V. CONSENT CALENDAR

All matters listed under CONSENT CALENDAR do not require significant reporting and/or discussion for decision, or are considered to be routine, and will be approved by one motion as recommended. There will be no separate discussion of these items unless a Commissioner or staff request separate discussion prior to approval.

VI. PUBLIC HEARING

1. SITE PLAN REVIEW SP23-01 A RESIDENTIAL DEVELOPMENT OF THREE DUPLEXES, A WITH UNIT ABOVE THE GARAGES AND AN ACCESSORY DWELLING UNIT LOCATED AT 6041 PINE AVE.

VII. DIRECTOR'S REPORT

VIII. COMMISSION COMMENTS

IX. ADJOURNMENT - The next Regular Meeting of the Maywood Planning Commission is October 17, 2023.

PUBLIC ACCESS TO MEETING AGENDA AND AGENDA PACKETS

I, _____, City Clerk or Deputy City Clerk hereby certify that this agenda was duly posted by law at 4319 E. Slauson Avenue, Maywood, CA 90270 and the City Website. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection at the Maywood City Hall, 4319 E. Slauson Avenue, Maywood CA 90270. If you challenge in court any discussion or action taken concerning an item on this Agenda, you may be limited to rising only those issues you or someone else raised during the meeting or in written correspondence delivered to the City at or prior to the City's consideration of the item at the meeting. In compliance with the ADA, if you need special assistance for the meeting, call (323) 562-5723 within 72 hours prior to the meeting so the City can make reasonable arrangements to ensure accessibility.



AGENDA REPORT

CITY OF MAYWOOD



AGENDA ITEM NO. 1.

DATE: September 20, 2023

TO: HONORABLE CHAIRPERSON AND MEMBERS OF THE MAYWOOD PLANNING COMMISSION

FROM: STEVE FOWLER, DIRECTOR OF BUILDING AND PLANNING

BY: CALVIN KO, ASSISTANT PLANNER

SUBJECT: SITE PLAN REVIEW SP23-01 A RESIDENTIAL DEVELOPMENT OF THREE DUPLEXES, A WITH UNIT ABOVE THE GARAGES AND AN ACCESSORY DWELLING UNIT LOCATED AT 6041 PINE AVE.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Site Plan Review SP23-01 for the demolition of four residential units with a two-car garage and the development of seven residential units and an accessory dwelling unit (ADU) located at 6041 Pine Avenue.

BACKGROUND:

The property is located at 6041 Pine Avenue on the west side of the street north of 61st Street, APN 6317-003-011. The parcel contains a total of four residential units with two, two-car garages. The property is a rectangle-shaped sixty feet wide by three hundred eighteen feet deep lot with a lot area totaling 18,625 square feet. The surrounding properties are all zoned for residential use. The use to the north is an elderly care facility; to the east and south are single-story residential homes and to the west a single -story residential home in the City of Huntington Park. A site plan review is required per the Maywood Zoning Ordinance ("MZO") when no other discretionary permit is being requested for all residential development exceeding five thousand square feet.

DISCUSSION:

Site Characteristics

Next Generation Investments, LLC ("Applicant") is requesting approval of a site plan review for a residential development on the property located at 6041 Pine Avenue on the west side of the street north of 61st Street, APN 6317-003-011. The parcel currently contains a total of four residential units with 2 car garages. The property is a rectangle shaped 60 feet wide by 318 feet deep lot with a lot area totaling 18,625 square feet. The surrounding properties are all zoned for residential use. The use to the north is an elderly care facility; to the east and south are single-story residential homes and to the west is a single-story residential home in the City of Huntington Park.

Analysis

The project will consist of three two-story duplexes and a two-story single residential dwelling with an attached ADU and attached two-car garages for each unit except the ADU. The exterior of the units will consist of a stuccoed finish, with gabled S-tile roofing, and metal railing for the balconies to create

a Mediterranean style architecture.

All residential units except the ADU will follow a floor plan consisting of 3 bedrooms, 2 ½ bathrooms with attached 2-car garages. The living area is a total of 1,561 square feet with a 400 square feet garage. The ground floor is five hundred seventy-seven square feet. The floor plan consists of a half bathroom, entrance, kitchen, living room and dining area totaling 577 square feet on the first floor. The second floor consists of a master bedroom and bathroom with two additional bedrooms, a full-sized bathroom, and a loft area totaling 984 square feet. The master bedroom also has a 100 square foot balcony.

The residential unit with the attached accessory structure is located at the rear of the property. The accessory dwelling unit will consist of a 1,165 square feet floor plan. The first floor contains a bedroom, kitchen, dining area, living room, and a full-sized bathroom. The second floor contains two bedrooms and two full-sized bathrooms.

The existing driveway approach will remain to provide access for all the units and guest parking space. The driveway is located on the southern portion of the site. Pedestrian access to each unit will be provided along the northern portion of the site.

Parking

The Maywood Zoning Ordinance section 4100.60 requires duplexes to have two garage parking spaces for the first 3 bedrooms, and half a guest parking space per unit. Each of the seven dwelling units will be provided with an attached two-car garage. There will be four guest parking spaces provided on the site. This proposed development project meets the City parking requirement.

Open Space and Landscaping

Open space and landscaping requirements are provided throughout the site. The MZO requires a minimum of 200 square feet of open space per unit and 100 square feet of private open space per unit. Common open space can be used to satisfy this requirement. In the rear of the property there is a proposed open space of one thousand two hundred twenty-one square feet is located at the rear of the site. Three landscaped open areas of ninety-nine square feet will be located between each structure. Each of the seven single family dwellings will have a private balcony of one hundred square feet.

ENVIRONMENTAL REVIEW:

The Planning Department Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA). The project qualifies under the Class 32 exemption under State CEQA Guidelines Section 15195 (In-Fill Development) because the proposed project is constructing residential housing on a site not more than 4 acres and meets all the criteria for this exemption in the 2023 CEQA Guidelines. In addition, there is no substantial evidence that the project may have a significant effect on the environment.

ATTACHMENT(S)

1. 6041 Pine Ave. - Plans

RESOLUTION NO. PC23-0470
A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY
OF MAYWOOD, CALIFORNIA, APPROVING THE SITE PLAN REVIEW
OF NO. PC23-0470 TO ALLOW PROPOSED CONSTRUCTION
OF A NEW 12,092 SQUARE FOOT SEVEN RESIDENTIAL UNITS
AND AN ACCESSORY DWELLING UNIT LOCATED AT 6041
PINE AVENUE IN THE R-3 (RESIDENTIAL) ZONE

THE PLANNING COMMISSION OF THE CITY OF MAYWOOD, CALIFORNIA HEREBY FINDS, DETERMINES AND RESOLVES AS FOLLOWS:

WHEREAS, Next Generation Investments, LLC (The Applicant) filed application No. SP23-01 for a Site Plan Review to allow the development of a new 12,092 square foot, seven residential units and an accessory dwelling unit located at 6041 Pine Avenue (APN 6317-003-011); and

WHEREAS, the approximately 18,614 square feet (0.43 acre) project site is located within the northwest corner of Pine Avenue and East 61st Street. The proposed 12,092 square foot two-story residential dwellings will consist of three duplexes and a single family residential unit with an attached accessory dwelling unit; and

WHEREAS, the existing 2,728 square foot building will be demolished; and

WHEREAS, on September 20, 2023, the Planning Commission of the City of Maywood ("Commission") conducted a duly noticed public hearing on the application at which time all persons wishing to testify in connection with the application were heard and the application was comprehensively review; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION FOR THE CITY OF MAYWOOD DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The applicant is requesting Site Plan Review approval to allow the proposed new construction of 12,092 square feet, seven residential units and an accessory dwelling unit. Per Section 5120.40 of the Maywood Zoning Ordinance, the following criteria must be met in order to approve the Site Plan Review request:

- A. Every use, developer of land, and application of development standards shall take place in compliance with all applicable provisions of this Ordinance.**

The proposed new residential development is in compliance with the development standards as outlined in Section 4010 Residential (R-3) of the Maywood Zoning Ordinance. The site contains 18,625 square feet and is of adequate size to accommodate the proposed residential development.

- B. Every use, development of land, and application of development standards shall be considered on the basis of the suitability of the site for the particular use or development intended. The total development, including the application of prescriber development standards, shall be designed to avoid traffic congestion, ensure public health, safety and general welfare; prevent adverse effects on neighboring property; and shall be in accord with all elements of the General Plan.**

The project will be developed in accordance with the MZO, including but not limited to, minimum area/street frontage, yard setbacks, height requirements, maximum lot coverage, landscaping, and required parking spaces.

The site is located within the residential neighborhood of Pine Avenue. The development of residential dwelling units is consistent with surrounding land uses to the north, south, east, and west. This includes residential and conditional allowed elder care use. The approval of the Site Plan Review, subject to the conditions of approval contained herein, will not adversely affect or be materially detrimental to adjacent uses, buildings, or structures.

- C. Every use, development of land, and application of development standards shall be considered on the basis of suitable and functional development design, but it is not intended that such approval be**

interpreted to require a particular style or type of architecture.

The proposed design is consistent with other residential developments within the City. The site plan conforms to all zoning development standards, including the maximum lot coverage, building setbacks, landscaping, and on-site parking. The new development will have access from the existing driveway along Pine Avenue.

SECTION 2. Based on the foregoing, the Planning Commission hereby approves Site Plan Review 23-01, subject to the following conditions:

- I. The use and improvements authorized by this Site Plan Review shall conform to the Conditions of Approval contained herein and to the improvement plans and specifications approved by the City. Any appreciable modification of the authorized use and/or approved plans and specifications as well of the existing use as described above, as determined by the Director of Building and Planning, shall require prior approval of the Planning Commission pursuant to an amendment of this application.
- II. The applicant agrees to allow the City inspector access to the subject premises to reasonably inspect the same at all times to assure compliance with these Conditions of Approval.
- III. Prior to the issuance of an occupancy permit for the authorized use, all applicable Conditions of Approval shall be completed to the reasonable satisfaction of the City.
- IV. This Site Plan Review shall be subject to revocation of any violation of or noncompliance with any of these Conditions of Approval and/or other codes, regulations, or standards enforced by or beneficial to the City of Maywood.
- V. The applicant shall defend, indemnify and hold harmless the City of Maywood (City) and its officials, officers, employees and agents from and against any claim, action, or proceeding against the City, its officials, officers, employees or against to attack, set aside, void or annul any approval or condition or the approval for the City concerning this project, including but not limited to any approval or mitigation measure imposed by the City Council, Planning Commission, or Director of Building and Planning. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and City shall cooperate fully in defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees and agents in defense of the matter.
- VI. The Building and Planning Department shall approve all site plans, including landscaping plan, and approved permits.
- VII. The applicant will require approved grading plans, fire sprinkler plans, soil reports prior to construction permit issuance.
- VIII. The applicant acknowledges that failure to meet any of the Conditions of Approval contained herein will be cause for a Revocation of the Site Plan Review.
- IX. Within ten (10) days from adoption of the Resolution approving this application, the applicant and/or Owner of the subject property shall execute a notarized affidavit agreeing to comply with the aforementioned conditions.

PASSED, APPROVED AND ADOPTED THIS 20TH DAY OF SEPTEMBER by the following vote:

AYES:

NOES:

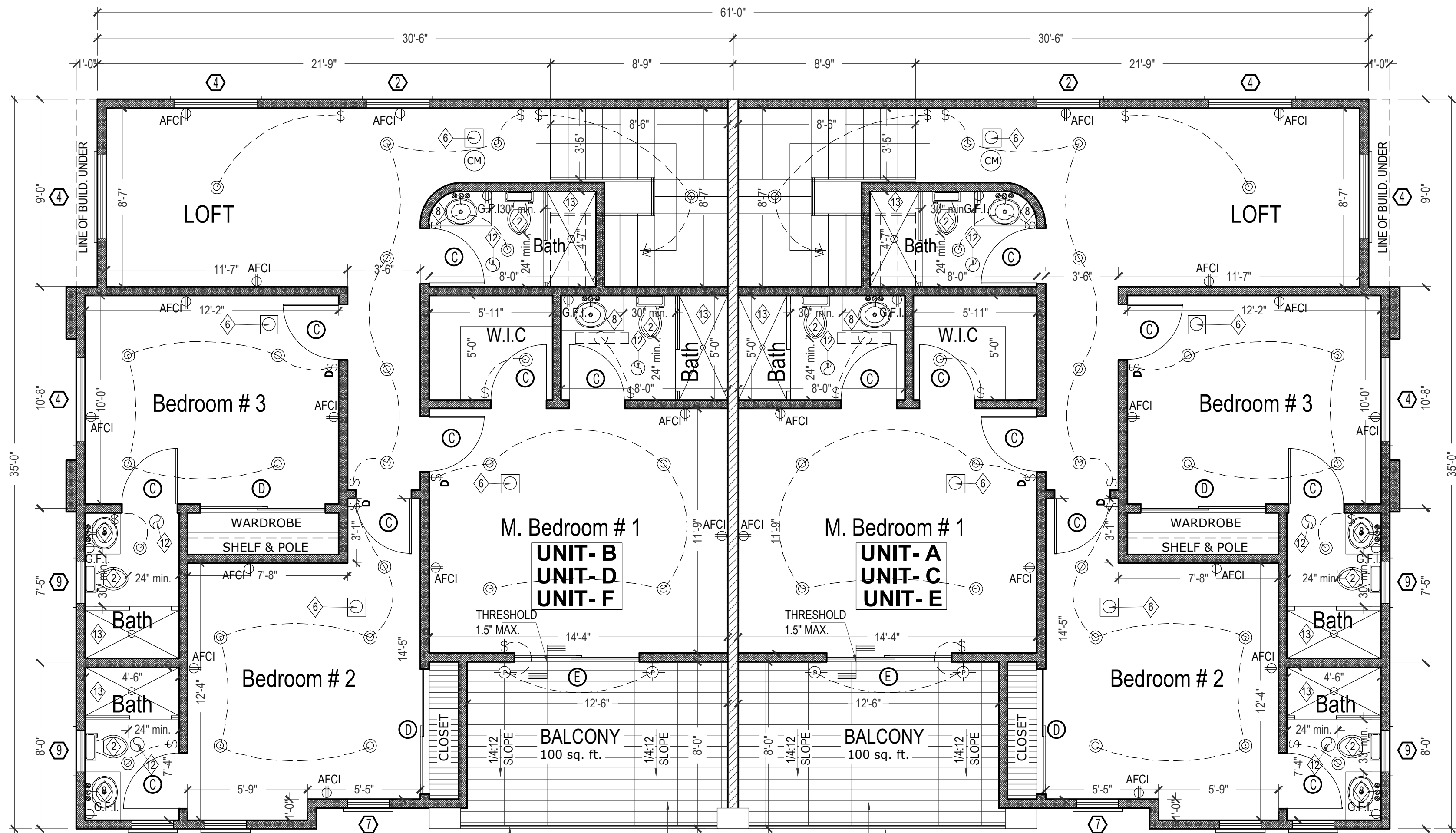
ABSENT:

ABSTAINED:

Raul Rodriguez
Planning Commissioner Chairperson

ATTEST:

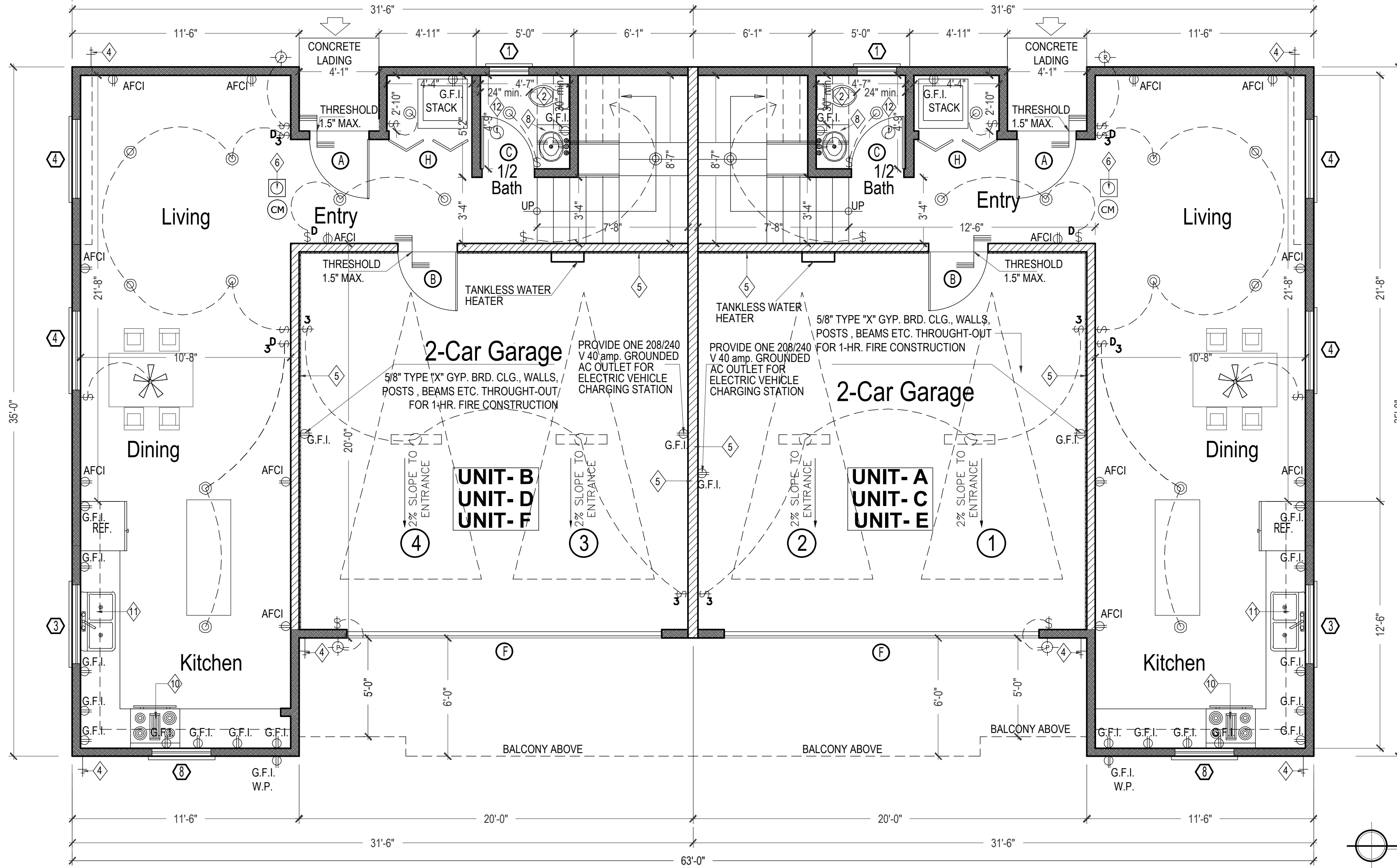
Steve Fowler
Planning Commission Secretary



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL FLOOR AREA PER UNIT :	
FIRST FLOOR:	577 s.f.
SECOND FLOOR:	984 s.f.
TOTAL AREA: 1,561 s.f.	
Porch Area Unit A,C,E: 19 s.f.	
Porch Area Unit B,D,F: 19 s.f.	
TOTAL GARAGE AREA Unit A,C,E: 400 s.f.	
TOTAL GARAGE AREA Unit B,D,F: 400 s.f.	

BUILDINGS #1, #2 AND #3



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
ALL WINDOWS TO BE DUAL GLAZE.

INTERIOR FINISH SCHEDULE		
ROOM	CEILING & WALLS	FLOORS
LIVING	1/2" GYPSUM BOARD	C. TILE
DINING	1/2" GYPSUM BOARD	C.TILE
BEDROOM	1/2" GYPSUM BOARD	CARPET
KITCHEN	1/2" GYPSUM BOARD	C. TILE
BATH	1/2" GYPSUM BOARD	C. TILE

Floor Plan Key Notes:

- PROVIDE A 12" SQ. (MINIMUM) ACCESS PANEL TO BATHTUB TRAP CONNECTION EXCEPT WHERE CONCEALED. FIXTURE CONNECTIONS ARE MADE WITHOUT SLIP JOINTS. DOOR TO BE TIGHTFITTING AND GASKETED.
- PROVIDE A WATER SAVING LOW FLUSH WATER CLOSET. IN NEW BUILDING PROVIDE WATER CLOSET THAT USE A MAXIMUM OF 1.6 GALLONS PER FLUSH.
- 4" Ø MIN. DRYER VENT UP TO FLR. JSTS. & TO OUTSIDE AIR W/ BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14 FT. W/ 2 ELBOWS TWO FEET SHALL BE DECREASED FOR EACH 90 DEGREES ELBOW IN EXCESS OF TWO.
- HOSE BIBB WITH BACKFLOW PREVENTER
- 5/8" TYPE "X" GYP. BRD. CLG. WALLS, POSTS, BEAMS ETC. THROUGH-OUT FOR 1-HR. FIRE CONSTRUCTION
- HARDWIRED WITH BATTERY OPERATED SMOKE DETECTORS W/ BATTERY BACK-UP TYP.
- FIBERGLASS TUB W/ SHOWER SHATTER PROOF ENCLOSURE 72" HIGH W.P. GREEN BRD. 3-WALLS
- 30" HIGH TILE COUNTERTOP WITH LAVATORY.
- 30" X 30" ATTIC/HVAC ACCESS TO BE A TIGHTFITTING, SELF CLOSING & GASKETED DOOR.
- 42" STOVE W/ HOOD OVER W/ CLR. ABOVE STOVE
- 32" X 21" S. STL. SINK W/ GARBAGE DISPOSAL ON A SEPARATE CIRCUIT.
- EXHAUST FAN W/ 50 CFM MIN. TO OUTSIDE MUST BE "ENERGY STAR" W/ HUMIDISTAT READILY ACCESSIBLE.
- SHOWER WITH 72" (MINIMUM) HIGH ABOVE DRAIN NON-ABSORBENT WALLS.

Floor Plan Notes:

CONSTRUCTION NOTES:

- MIN. 8% NAT. LIGHT & 4% NAT. VENTILATION REQ. FOR HABITABLE ROOMS
- PROVIDE NATURAL VENTILATION IN (HABITABLE ROOMS) BY MEANS OF OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 5% OF FLOOR AREA WITH A MIN. OF 5 SQ. FT. MECHANICAL VENTILATING SYSTEMS MAY BE PERMITTED.
- MAXIMUM SILL HGT. FOR WINDOWS IS 44" A.F.F. FOR EMERGENCY EGRESS PURPOSES TYP.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. INCLUSIVE OF INGRESS & EGRESS DOORS, PANELS IN SLIDING OR SWINGING DOORS, DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE), IF WITHIN 2' OF
- SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: a) IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. INSTALL SMOKE DETECTOR PER MFG. INSTRUCTIONS.
- ATTIC VENTILATION SHALL BE 1/150 OF THE ATTIC AREA
- ARC FAULT INTERRUPTION PROTECTION IS REQUIRED FOR ALL NEW BRANCH CIRCUITS.

GLAZING IN THE FOLLOWING LOCATIONS SHOULD BE OF SAFETY GLASS:

- WHERE THE BOTTOM EXPOSED EDGE OF THE WINDOW GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET OF TUBS AND DRAINS.
- FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- WALLS ENCLOSING STAIRWAY LANDINGS WITHIN 5 FEET OF THE BOTTOM AND TOP OF THE STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

NOTE:
THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.

WALL LEGEND

	2X4 OR 2X6 STUD WALLS
	1-HOUR FIRE RATED/STC 50 PARTITION
	TYP. WINDOW

Door Schedule:

SYM.	SIZE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	SOLID CORE
B	3'-0" X 6'-8" X 1 3/4"	HOLLOW CORE 20-MINUTE DR. PER PLAN SELF-CLOSING AND SELF-LATCHING
C	2'-8" X 6'-8" X 1 3/4"	HOLLOW CORE
D	6'-0" X 6'-8"	SLIDING WOOD DOOR
E	6'-0" X 6'-8"	SLIDING GLASS DOOR
F	16'-0" X 7'-0"	DOOR W/ AUTOMATIC DOOR OPENER
G	5'-4" X 6'-8" X 1 3/4"	DOBLE WOOD DOOR
H	4'-0" X 6'-8" X 1 3/4"	B.I. FOLDING DRS. LOUVERED DRS.

* Egress doors shall be readily operable from the egress side without the use of a key or any special knowledge or effort. Building code 100B.1.3

Window Schedule:

SYM.	SIZE	REMARKS
1	2'-0" X 2'-0"	VINYL SLID. WINDOW (OBS.)
2	3'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
3	4'-0" X 3'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
4	4'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
5	6'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
6	3'-0" X 2'-0"	VINYL SLID. WINDOW (OBS.)
7	2'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
8	3'-0" X 3'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
9	2'-0" X 3'-0"	VINYL SLID. WINDOW (DUAL GLAZE)

* Fire-resistive assemblies for the protection of openings, when required by the Building Code shall comply with Building Code 715 and Table 715.4



8050 E. FLORENCE AVE, SUITE 27
DOWNEY, CA 90240 TEL: (562) 928-5467
E-MAIL: gpfoxdesign@verizon.net

STAMP & SIGNATURES

REVISIONS	DATE

PROJECT DESCRIPTION:

NEW (4) 2- STORY
DUPLEXES
WITH ATTACH
2 CAR GARAGE

PROJECT ADDRESS:

6041 PINE ST
MAYWOOD, CA.
90270

OWNER'S NAME:

GENERAL NOTES:

- VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE DRAFTSMAN IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
- FINISH ELEVATIONS REFERENCED ON THE DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
- WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

TITLE:

SITE PLAN

DRAWN: G.P. / J.P.M.

CHECKED: GUILLERMO PALAFOX

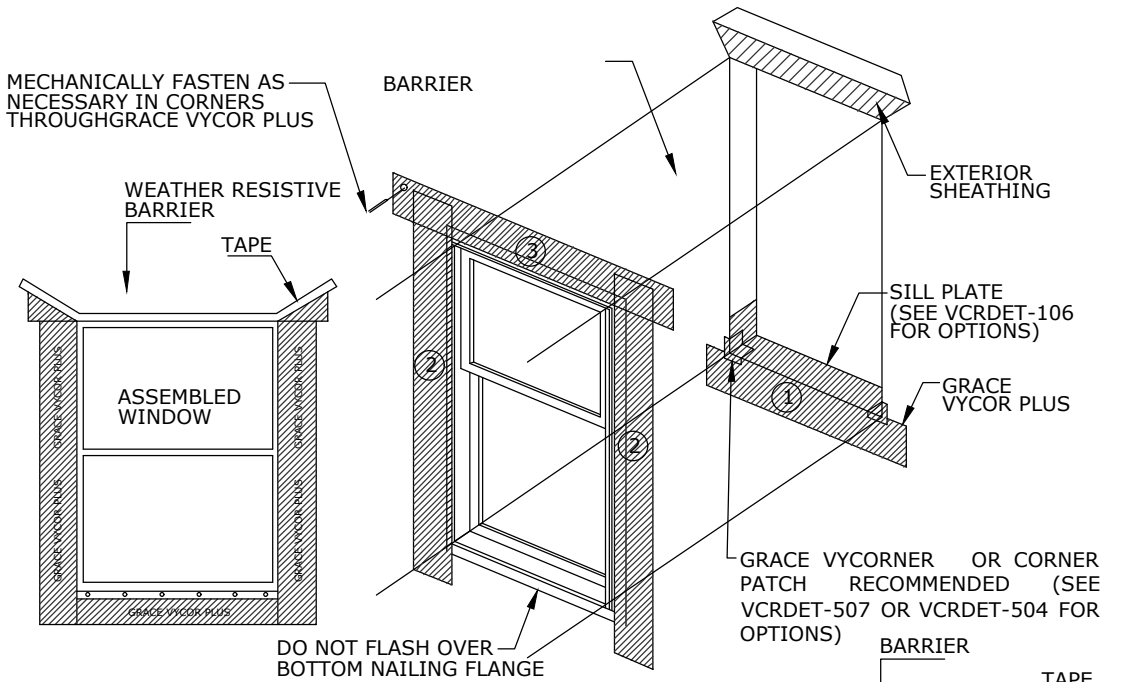
DATED: 11/02/2022

SCALE: 1/4"=1'-0"

JOB NO.: ---

SHEET

A-2.0
11 OF SHEETS



WINDOWS DETAIL

NOTES:

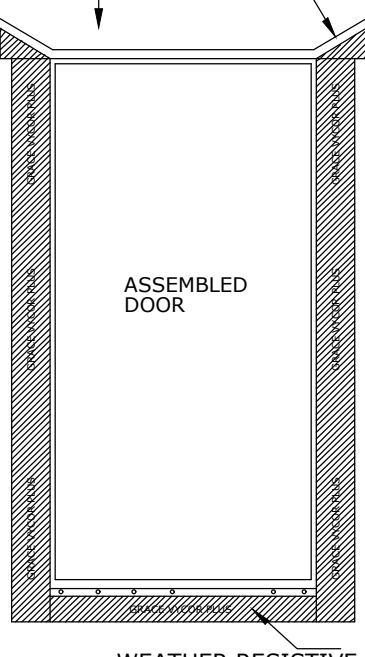
- VCRDET GRACE CONSTRUCTION CDM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS.
- RIPCORDS CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION.
- REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE.
- INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS.
- INSTALL GRACE VYCOR PLUS AND WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS.
- DETAIL ALSO RELIVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

HEAD FLASHING TIE-IN INSTRUCTIONS:

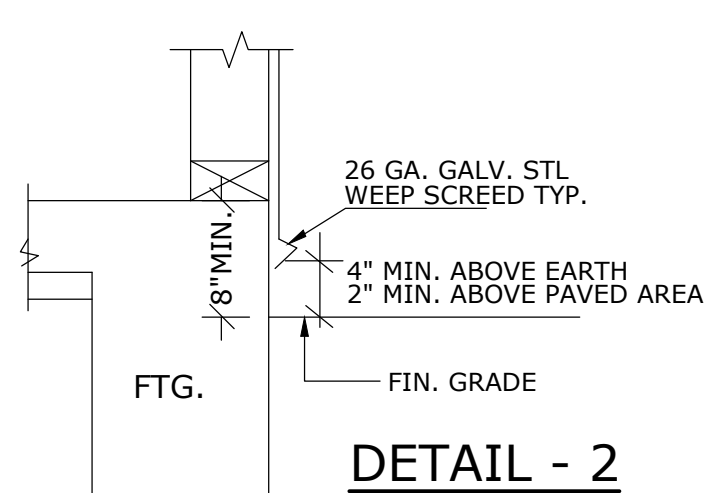
- CUT, FOLD UP AND TEMPORARY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION.
- INSTALL GRAVE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER ALONG HEADER.
- FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE.

NOTES:

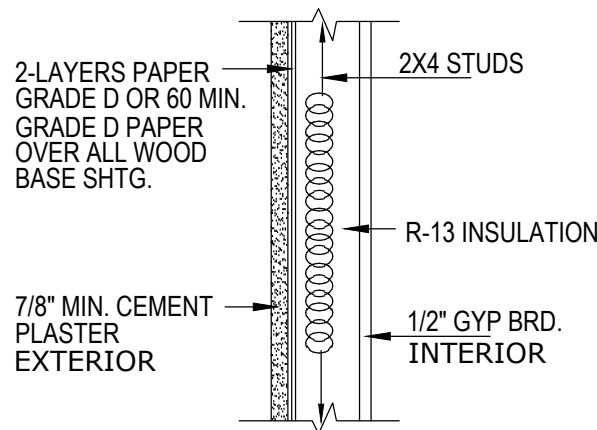
- FOR ROOF SLOPES FROM 2:12 UP TO 4:12 FOR ASPHALT SHINGLES UNDERLAYMENT SHALL BE 2 LAYERS OF 15# FELT LAID WITH 19" OVERLAP-PER CBC SECT. 1507.2.
- USE 2 LAYERS OF GRADE D PAPER BARRIER FOR STUCCO APPLIED OVER WOOD-BASED SHEATHING-CBC SECT. 2510.6.
- PROVIDE 2-LAYER #15 FELT FLASHING AROUND WINDOWS AND DOORS TYP.



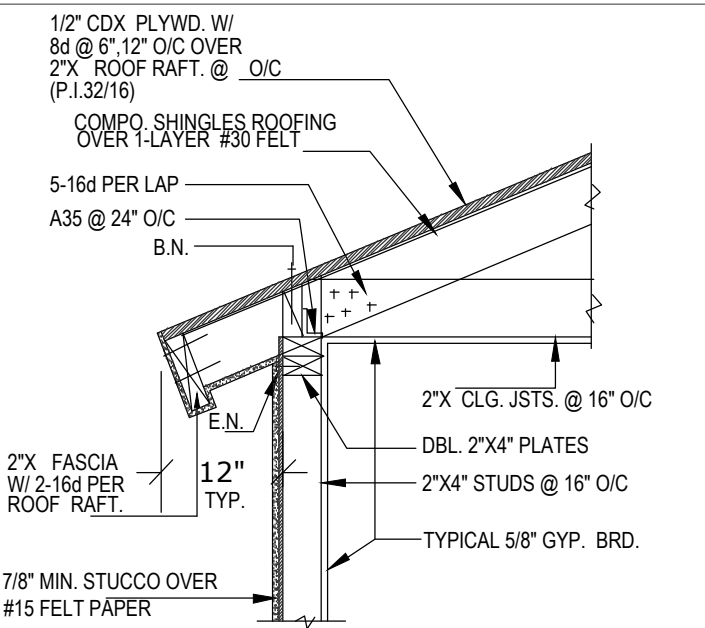
DOORS DETAIL



DETAIL - 2



EXT. WALL DETAIL - B



TYPICAL WALL/ROOF CONSTRUCTION

DETAIL - 3

NOTE:

PROVIDE 44" MAX. SILL HGT. ABOVE FINISH FLOOR FOR EMERGENCY EXIT ON ALL BEDROOM WINDOWS.

ROOFING:

CLASS "A" COMPOSITION SHINGLES OVER 2-LAYER #15 FELT, USE GALV. ROOFING NAILS. (FIRE RETARDANT) BY: MALARKEY ESR-3150

ALL DOORS, WINDOWS, TRIMS, AND ARCHITECTURAL FEATURES ON ALL UNITS SHALL MATCH IN STYLE, MATERIAL AND COLOR

ATTIC VENTILATION:

ATTIC AREA = 2,182 S.F.
2,182 / 150 = 14.55 S.F. REQUIRED
(20) 24"x12" DORMER VENTS = 13.60 S.F.
(2) 14"x24" LOUVER VENTS = 1.64 S.F.

TOTAL = 15.24 S.F.
PROVIDED

NOTES:

"INSPECTION OF NAILING REQUIRED FOR DRYWALL AND ALL LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SPACING SHALL BE 3/8 INCH MAXIMUM. TWO LAYERS OF GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD WOOD BASE SHEATHING.

NOTE:

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) ANTI-GRAFFITI FINISH LARR# 25142 T

COOL ROOF:

- * ASPHALT SHINGLES
- * WITH 3-YEAR SOLAR REFLECTANCE 0.26
- * THERMAL EMITTANCE OF 0.91
- * COLOR: DOVE WHITE
- * MANUFACTURER BRAND : MALARKEY
- * CRRC PROD. ID :0850-0013

NOTE: "ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY" 1504 MINIMUM CLASS "C" REQUIRED BY STATE LAW.

OPENINGS SHALL HAVE CORRISSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16-IN. MINIMUM AND 1/4-IN MAXIMUM OPENING.

DORMER VENTS BY:

"C & J METAL PRODUCTS INC."

DM24 = 99 SQ. IN. EA. = 0.88 SQ. FT. EA.

LOUVER VENTS BY:

"C & J METAL PRODUCTS INC."

LV1424 = 119 SQ. IN. EA. = 0.82 SQ. FT. EA.

NOTES:

PORCHES MUST HAVE A MINIMUM CLEAR HEIGHT OF 7'-0" FOR REQUIRED LIGHT AND VENTILATION. LATH, PLASTER AND DRYWALL TO CONFORM TO THE REQUIREMENTS OF CBC CHAPTER 25.

NOTE:

PROVIDE TWO LAYERS OF GRADE "D" PAPER AS THE WEATHER-RESISTIVE BARRIER FOR PORTLAND CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING (SUCH AS PLYWOOD).

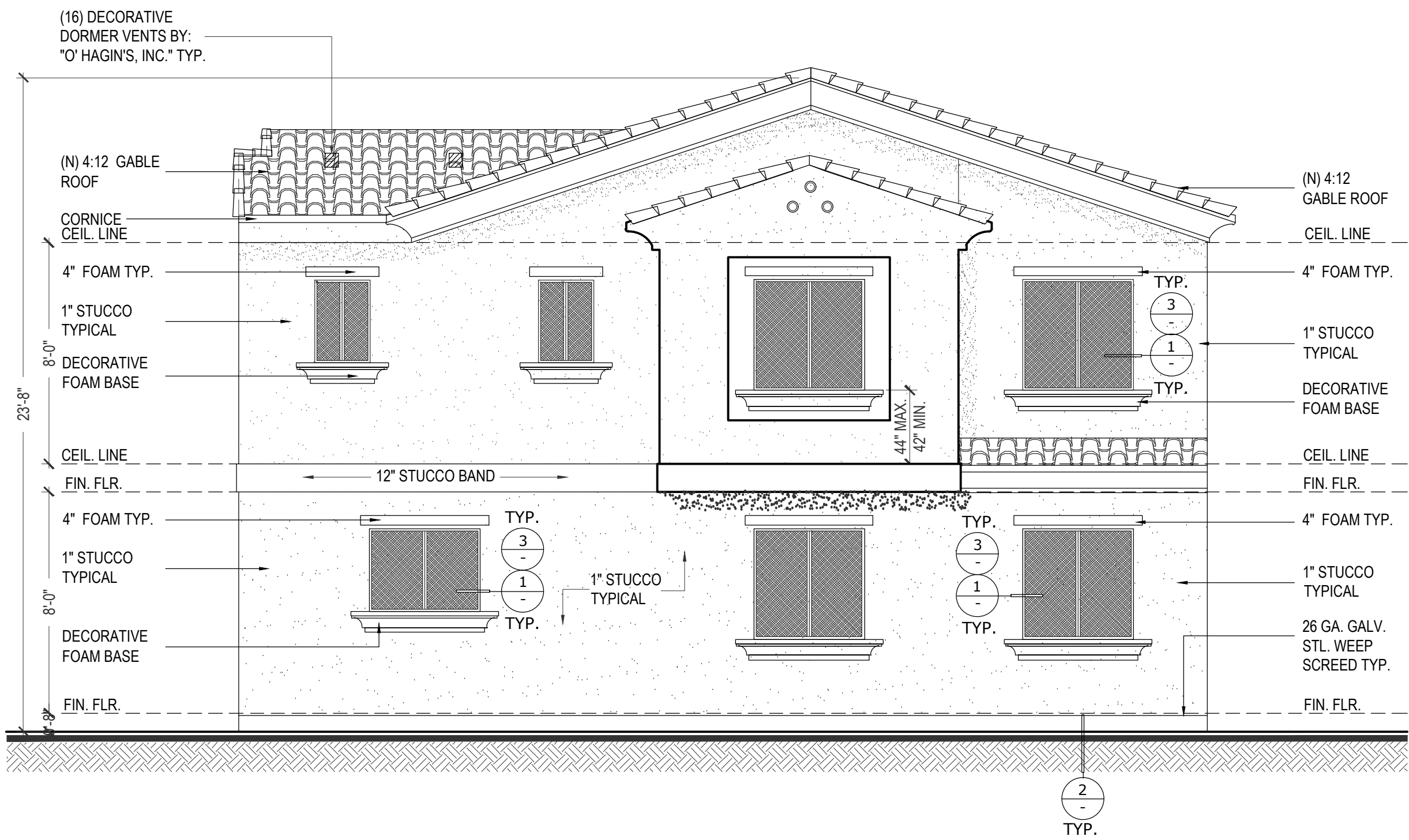


SOUTH ELEVATION

SCALE: 1/4"=1'-0"

ARCHITECTURAL THEME:

Spanish Pale stucco, arched entries and square window with wood shutters , and tile roofs with overhanging eaves with different roof shapes



EAST ELEVATION

SCALE: 1/4"=1'-0"



8050 E. FLORENCE AVE, SUITE 27
DOWNEY, CA 90240 TEL. (562) 928-5467
E-MAIL: gpfoxdesign@verizon.net

STAMP & SIGNATURES

REVISIONS	DATE

PROJECT DESCRIPTION:

**NEW (4) 2- STORY
DUPLEXES
WITH ATTACH
2 CAR GARAGE**

PROJECT ADDRESS:

**6041 PINE ST
MAYWOOD, CA.
90270**

OWNER'S NAME:

GENERAL NOTES:

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE DRAFTSMAN IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.

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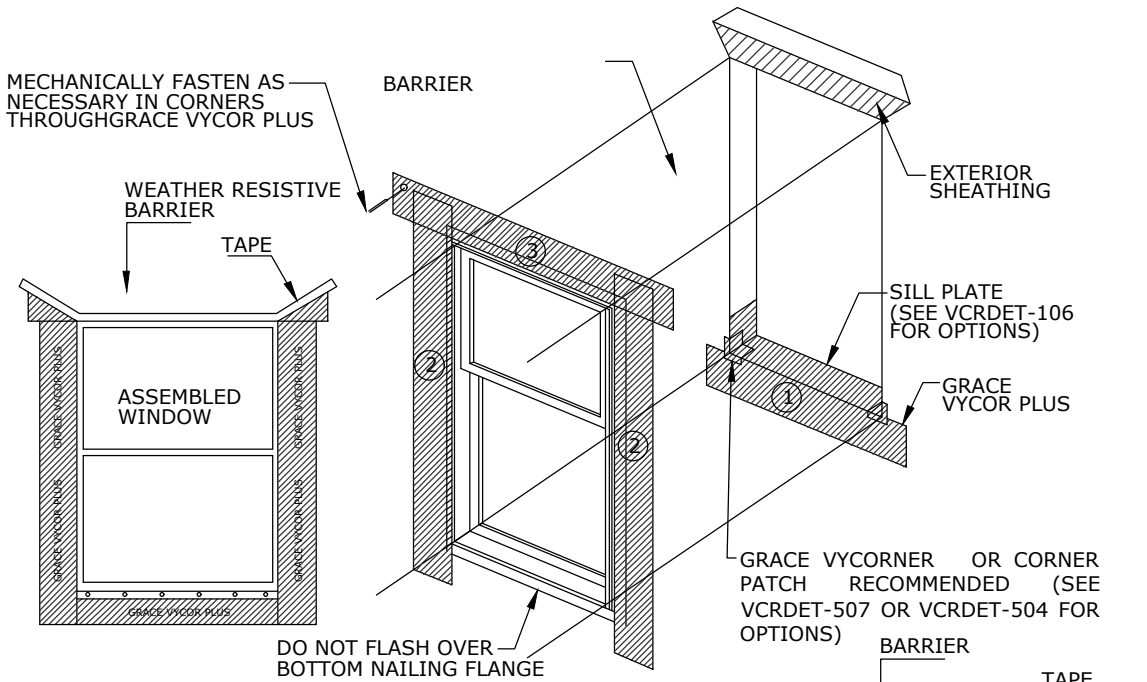
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TITLE: ELEVATIONS

DRAWN: G.P. / J.P.M.
CHECKED: GUILLERMO PALAFOX
DATED: 11/02/2022
SCALE: 1/4"=1'-0"
JOB NO.: ---

SHEET

A-3.0
11 OF SHEETS



WINDOWS DETAIL

NOTES:

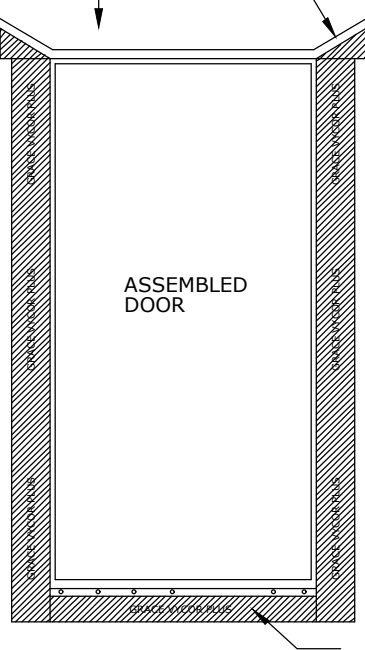
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- REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE.
- INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS.
- INSTALL GRACE VYCOR PLUS AND WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS.
- DETAIL ALSO RELIVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

HEAD FLASHING TIE-IN INSTRUCTIONS:

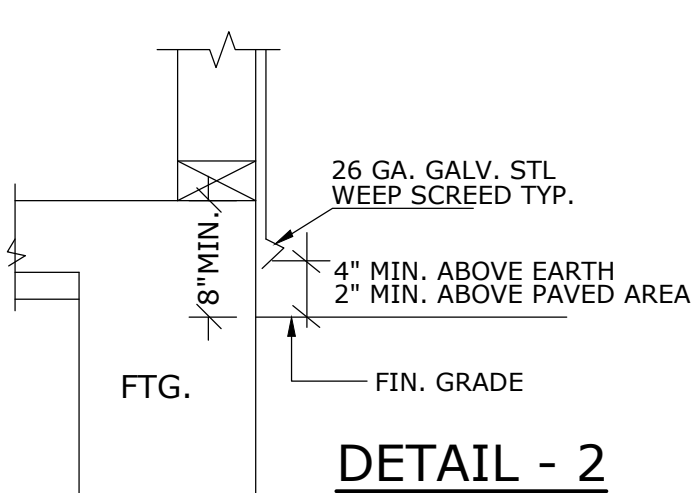
- CUT, FOLD UP AND TEMPORARY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION.
- INSTALL GRAVE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER ALONG HEADER.
- FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE.

NOTES:

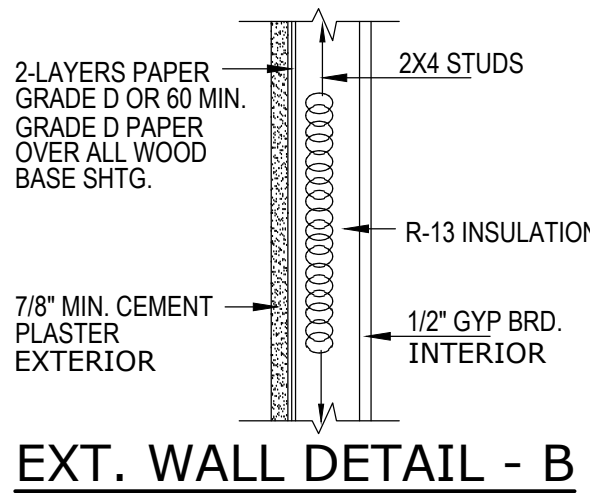
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- USE 2 LAYERS OF GRADE D PAPER BARRIER FOR STUCCO APPLIED OVER WOOD-BASED SHEATHING-CBC SECT. 2510.6.
- PROVIDE 2-LAYER #15 FELT FLASHING AROUND WINDOWS AND DOORS TYP.



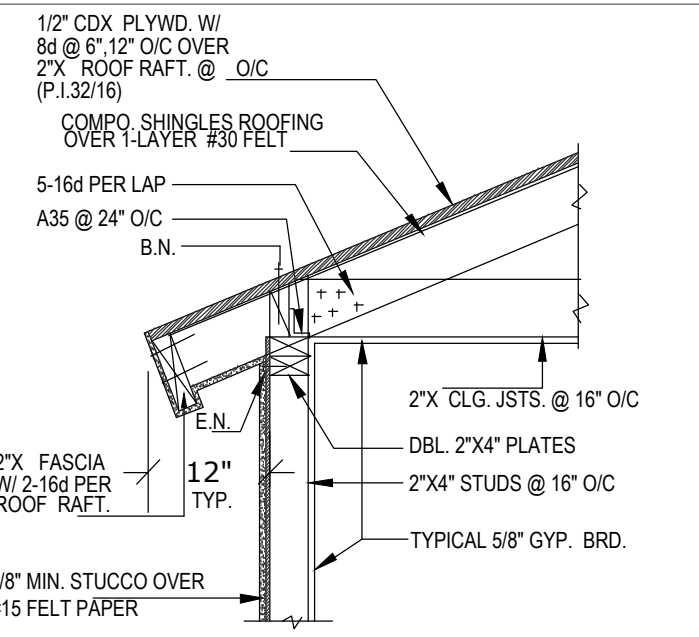
DOORS DETAIL



DETAIL - 2



EXT. WALL DETAIL - B



TYPICAL WALL/ROOF CONSTRUCTION

NO SCALE

NOTE:

PROVIDE 44" MAX. SILL HGT. ABOVE FINISH FLOOR FOR EMERGENCY EXIT ON ALL BEDROOM WINDOWS.

ROOFING:

CLASS "A" COMPOSITION SHINGLES OVER 2-LAYER #15 FELT, USE GALV. ROOFING NAILS. (FIRE RETARDANT) BY: MALARKEY ESR-3150

ALL DOORS, WINDOWS, TRIMS, AND ARCHITECTURAL FEATURES ON ALL UNITS SHALL MATCH IN STYLE, MATERIAL AND COLOR

ATTIC VENTILATION:

ATTIC AREA = 2,182 S.F.
2,182 / 150 = 14.55 S.F. REQUIRED
(20) 24"x12" DORMER VENTS = 13.60 S.F.
(2) 14"x24" LOUVER VENTS = 1.64 S.F.
TOTAL = 15.24 S.F. PROVIDED

NOTES:

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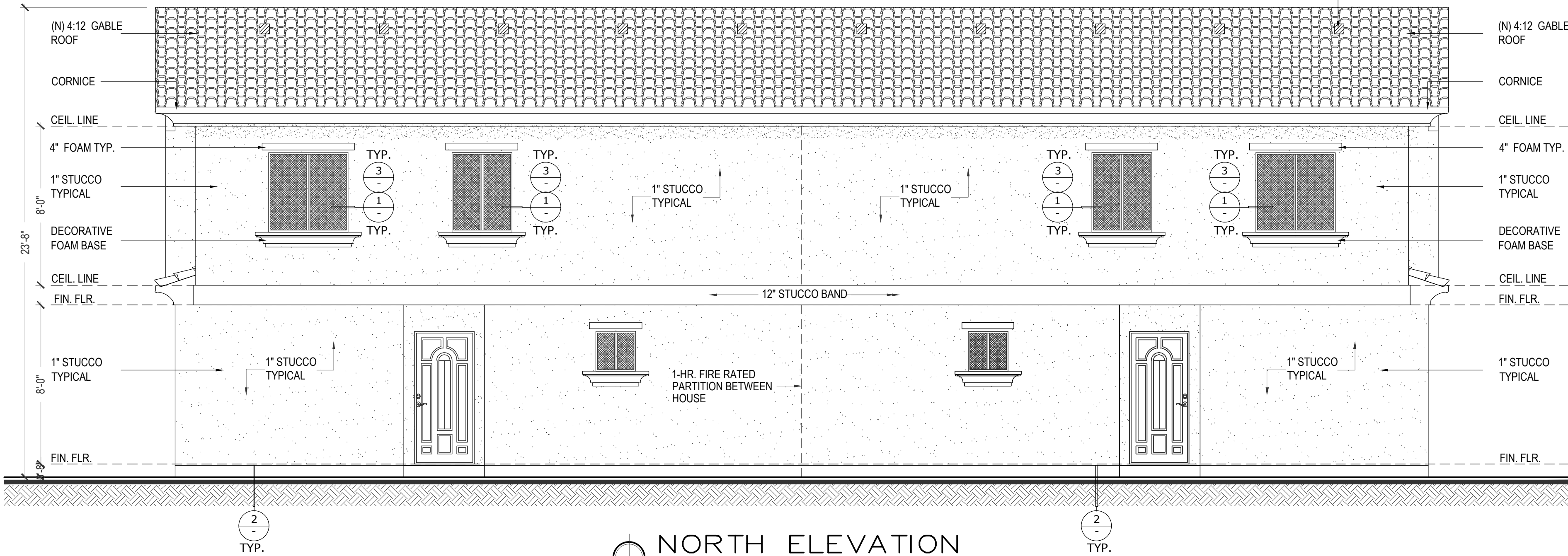
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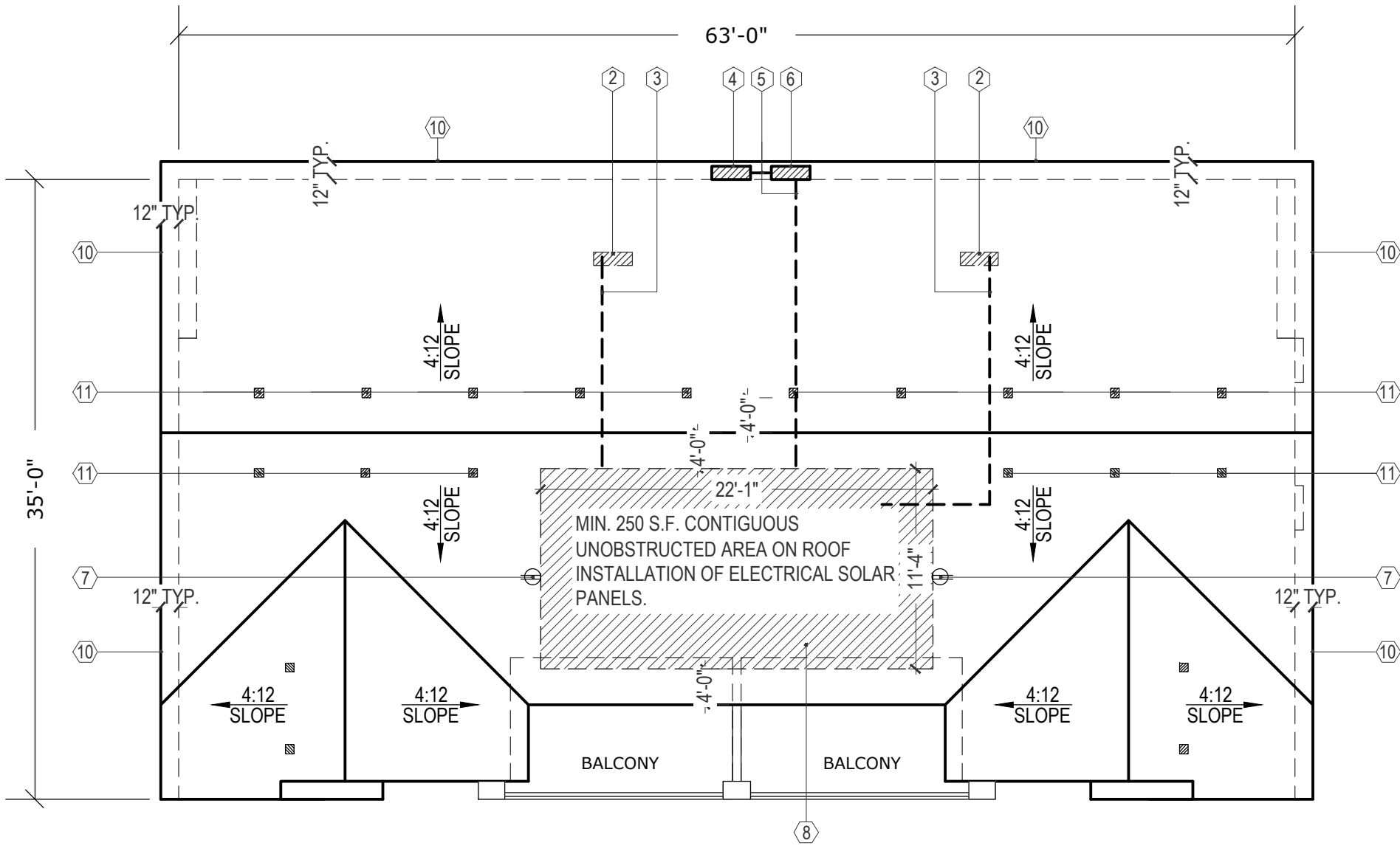
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NORTH ELEVATION

SCALE: 1/4"=1'-0"



ROOF PLAN-BUILDING #1

SCALE: 1/8"=1'-0"

Roof plan Key Notes:

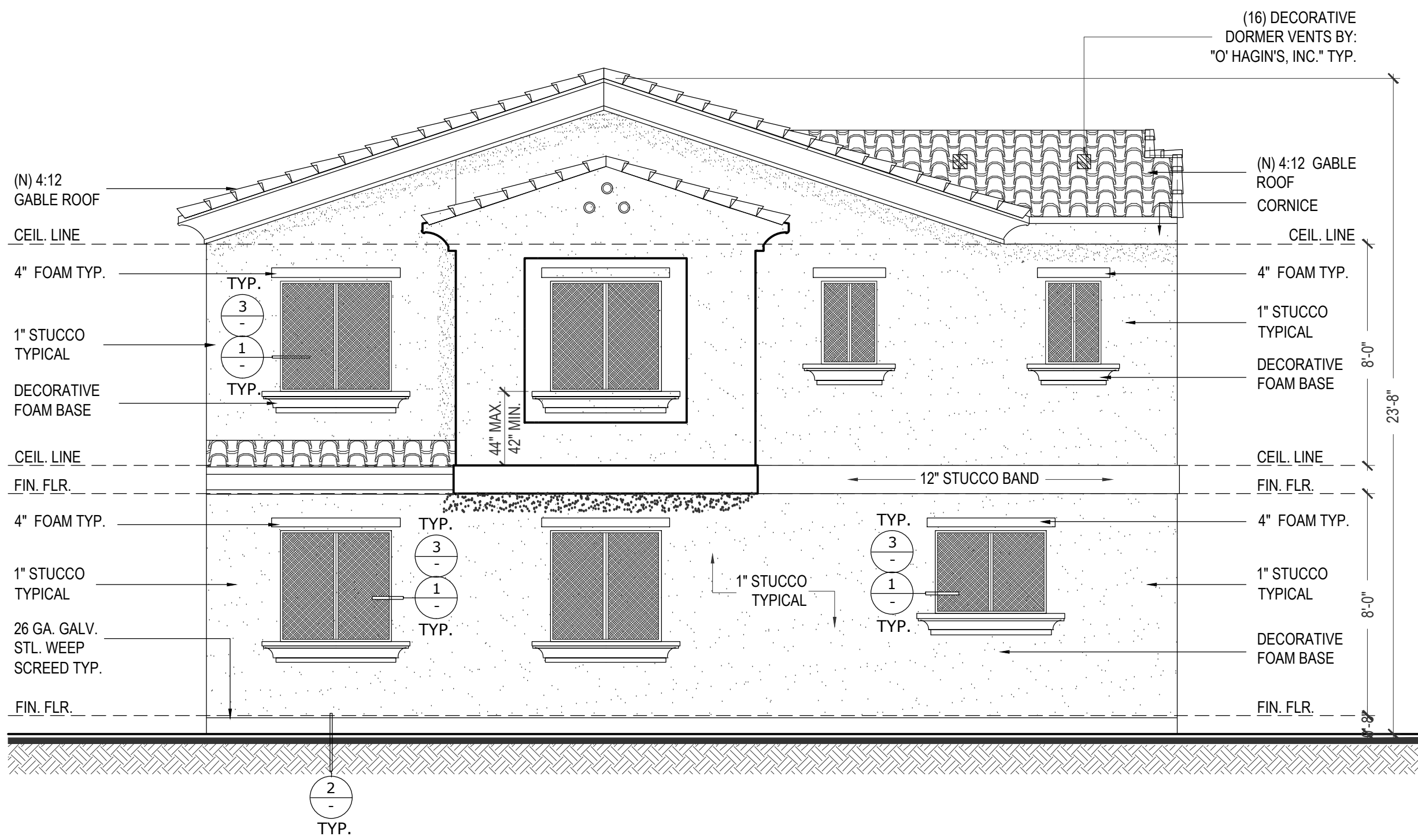
- DECORATIVE DORMER VENTS
- (1) TANKLESS WATER HEATER LOCATION IN GARAGE
- ROUTING ROUTE FROM SOLAR PANEL TO W/H
- (1) 200 AMP ELECTRICAL PANEL LOCATION
- ELECTRICAL LINE ROUTE FROM INVERTER TO ELEC.
- LOCATION OF INVERTERS AND METERING EQUIPMENT PLUMBING
- TERMINATION OF 1" CONDUIT FOR INSTALLATION OF ELECTRICAL SOLAR PANELS
- MIN. 250 S.F. CONTIGUOUS UNOBSTRUCTED AREA ON ROOF FOR INSTALLATION OF ELECTRICAL SOLAR PANELS
- RAIN WATER DOWNSPOUT
- EAVES PROJECTION
- DORMER VENTS BY:

NOTE:

THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A SOLARE ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

NOTE:

THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT. SOLAR ZONE SHALL BE ORIENTED BETWEEN 110° AND 270° OF THE TRUE NORTH



WEST ELEVATION

SCALE: 1/4"=1'-0"



8050 E. FLORENCE AVE, SUITE 27
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STAMP & SIGNATURES

PROJECT DESCRIPTION:

**NEW (4) 2- STORY
DUPLEXES
WITH ATTACH
2 CAR GARAGE**

PROJECT ADDRESS:

**6041 PINE ST
MAYWOOD, CA.
90270**

OWNER'S NAME:

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DRAWN: G.P. / J.P.M.

CHECKED: GUILLERMO PALAFOX

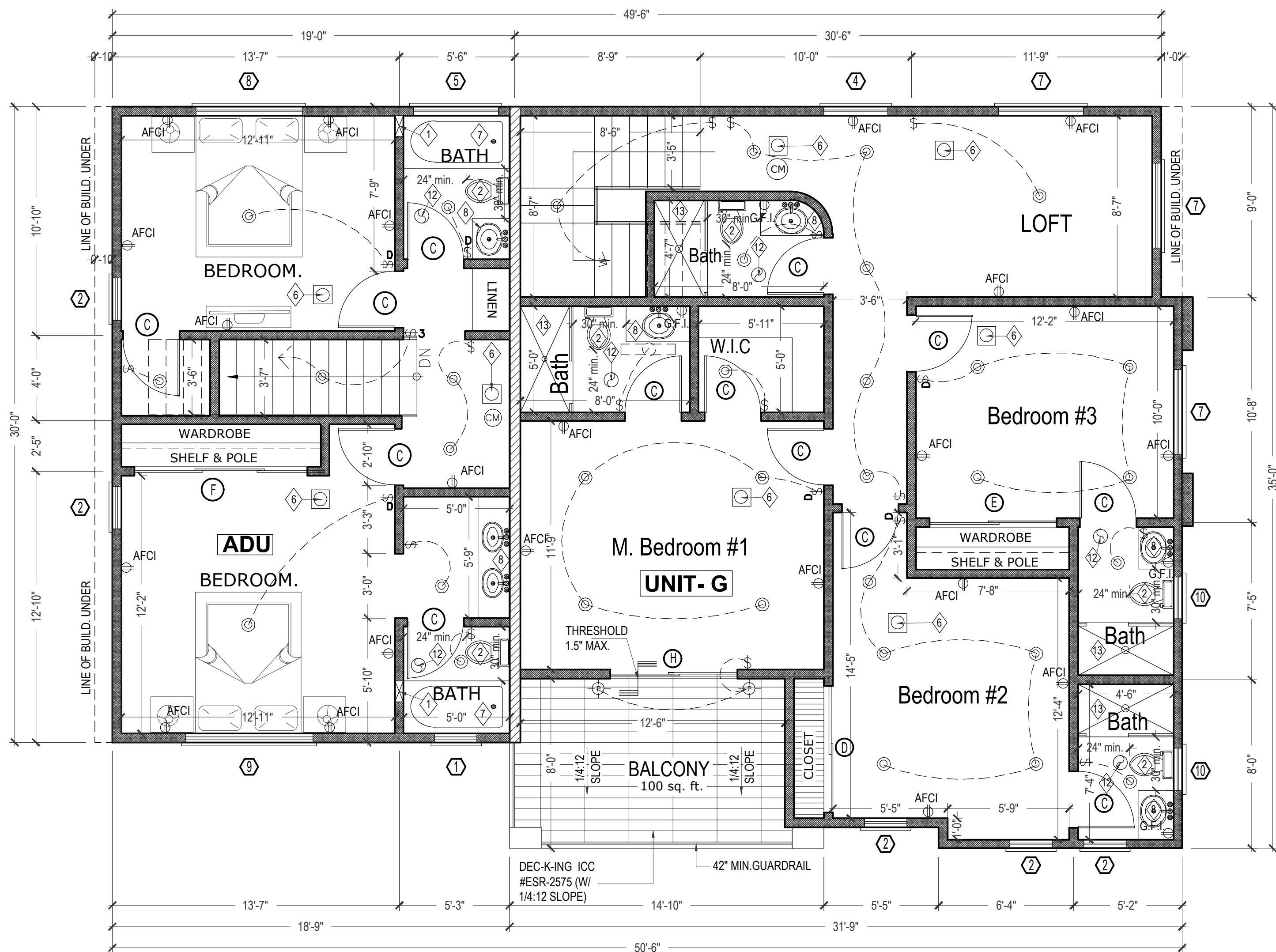
DATED: 11/02/2022

SCALE: 1/4"=1'-0"

JOB NO.: ---

SHEET

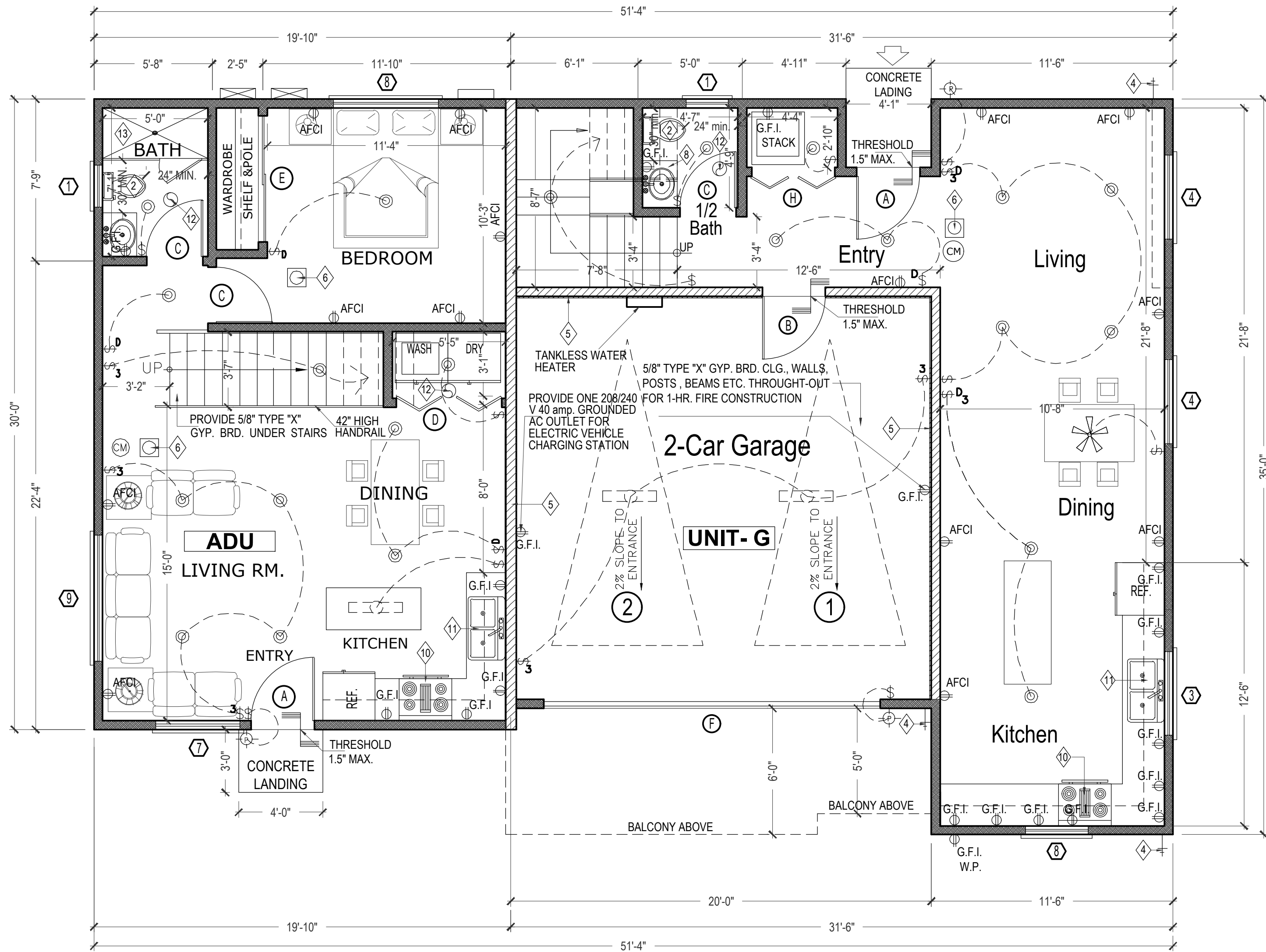
A-3.1
11 OF SHEETS



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL FLOOR AREA PER UNIT :	
FIRST FLOOR:	577 s.f.
SECOND FLOOR:	984 s.f.
TOTAL AREA: 1,561 s.f.	
PORCH AREA UNIT G: 19 s.f.	
TOTAL GARAGE AREA UNIT G: 400	
FLOOR AREA ADU:	
FIRST FLOOR:	595 s.f.
SECOND FLOOR:	570 s.f.
TOTAL AREA: 1,165 s.f.	

BUILDINGS #4 WITH ADU



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

Electrical Legend	
	ELECTRICAL RECEPTACLE
	GROUND FAULT RECEPTACLE
	SWITCHES
	SWITCHES WITH DIMMER
	3-WAY SWITCH
	FLUORESCENT FIXTURE HIGH EFFICACY
	LIGHTING FIXTURES
	EXHAUST FAN W/5 AIR CHANGES PER HOUR
	HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP INTERCONNECTED
	CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP INTERCONNECTED
	LIGHTING W/ MOTION SENSOR ON AND PHOTO-CONTROLLED SENSOR OFF
	CEILING FAN OR FAN LIGHT AS NOTED (OWNER TO SELECT)

Floor Plan Key Notes:

- PROVIDE A 12" SQ. (MINIMUM) ACCESS PANEL TO BATHTUB TRAP CONNECTION EXCEPT WHERE CONCEALED. FIXTURE CONNECTIONS ARE MADE WITHOUT SLIP JOINTS. DOOR TO BE TIGHTFITTING AND GASKETED.
- PROVIDE A WATER SAVING LOW FLUSH WATER CLOSET. IN NEW BUILDING PROVIDE WATER CLOSET THAT USE A MAXIMUM OF 1.6 GALLONS PER FLUSH.
- 4" Ø MIN. DRYER VENT UP TO FLR. JSTS. & TO OUTSIDE AIR W/ BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14 FT. W/ 2 ELBOWS TWO FEET SHALL BE DECREASED FOR EACH 90 DEGREES ELBOW IN EXCESS OF TWO.
- HOSE BIBB WITH BACKFLOW PREVENTER
- 5/8" TYPE "X" GYP. BRD. CLG. WALLS, POSTS, BEAMS ETC. THROUGH-OUT FOR 1-HR. FIRE CONSTRUCTION
- HARDWIRED WITH BATTERY OPERATED SMOKE DETECTORS W/ BATTERY BACK-UP TYP.
- FIBERGLASS TUB W/ SHOWER SHATTER PROOF ENCLOSURE 72" HIGH W.P. GREEN BRD. 3-WALLS
- 30" HIGH TILE COUNTERTOP WITH LAVATORY.
- 30" X 30" ATTIC/HVAC ACCESS TO BE A TIGHTFITTING, SELF CLOSING & GASKETED DOOR.
- 42" STOVE W/ HOOD OVER W/ CLR. ABOVE STOVE
- 32" X 21" S. STL. SINK W/ GARBAGE DISPOSAL ON A SEPARATE CIRCUIT.
- EXHAUST FAN W/ 50 CFM MIN. TO OUTSIDE MUST BE "ENERGY STAR" W/ HUMIDISTAT READILY ACCESSIBLE.
- SHOWER WITH 72" (MINIMUM) HIGH ABOVE DRAIN NON-ABSORBENT WALLS.

Floor Plan Notes:

- CONSTRUCTION NOTES:
- MIN. 8% NAT. LIGHT & 4% NAT. VENTILATION REQ. FOR HABITABLE ROOMS
 - PROVIDE NATURAL VENTILATION IN (HABITABLE ROOMS) BY MEANS OF OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 5% OF FLOOR AREA WITH A MIN. OF 5 SQ. FT. MECHANICAL VENTILATING SYSTEMS MAY BE PERMITTED.
 - MAXIMUM SILL HGT. FOR WINDOWS IS 44" A.F.F. FOR EMERGENCY EGRESS PURPOSES TYP.
 - GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. INCLUSIVE OF INGRESS & EGRESS DOORS, PANELS IN SLIDING OR SWINGING DOORS, DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE), IF WITHIN 2' OF
 - SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: a) IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. INSTALL SMOKE DETECTOR PER MFG. INSTRUCTIONS.
 - ATTIC VENTILATION SHALL BE 1/150 OF THE ATTIC AREA
 - ARC FAULT INTERRUPTION PROTECTION IS REQUIRED FOR ALL NEW BRANCH CIRCUITS.
- GLAZING IN THE FOLLOWING LOCATIONS SHOULD BE OF SAFETY GLASS:
- A) WHERE THE BOTTOM EXPOSED EDGE OF THE WINDOW GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET OF TUBS AND DRAINS.
- B) FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- C) WALLS ENCLOSING STAIRWAY LANDINGS WITHIN 5 FEET OF THE BOTTOM AND TOP OF THE STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

WALL LEGEND

	2X4 OR 2X6 STUD WALLS
	1-HOUR FIRE RATED/STC 50 PARTITION
	TYP. WINDOW

Door Schedule:

SYM.	SIZE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	SOLID CORE
B	3'-0" X 6'-8" X 1 3/4"	HOLLOW CORE 20-MINUTE DR. PER PLAN SELF-CLOSING AND SELF-LATCHING
C	2'-8" X 6'-8" X 1 3/4"	HOLLOW CORE
D	5'-0" X 6'-8"	BI - FOLD DBL DOORS
E	6'-0" X 6'-8"	SLIDING WOOD DOOR
F	9'-0" X 6'-8"	SLIDING WOOD DOOR
G	5'-4" X 6'-8"	DOBLE DOOR
H	6'-0" X 6'-8"	SLIDING GLASS DOOR
I	16'-0" X 7'-0"	DOOR W/ AUTOMATIC DOOR OPENER

* Express doors shall be readily operable from the egress side without the use of a key or any special knowledge or effort. Building code 1008.1.B

Window Schedule:

SYM.	SIZE	REMARKS
1	2'-0" X 2'-0"	VINYL SLID. WINDOW (OBSC.)
2	2'-0" X 4'-0"	VINYL SINGLE HUNG WINDOW
3	3'-0" X 2'-0"	VINYL SLID. WINDOW (OBSC.)
4	3'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
5	4'-0" X 2'-0"	VINYL SLID. WINDOW (OBSC.)
6	4'-0" X 3'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
7	4'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
8	5'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
9	6'-0" X 4'-0"	VINYL SLID. WINDOW (DUAL GLAZE)
10	2'-0" X 3'-0"	VINYL SLID. WINDOW (DUAL GLAZE)

* Fire-resistive assemblies for the protection of openings, when required by the Building Code shall comply with Building Code 715 and Table 715.A



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TITLE:

SITE PLAN

DRAWN:

CHECKED: GUILLERMO PALAFOX

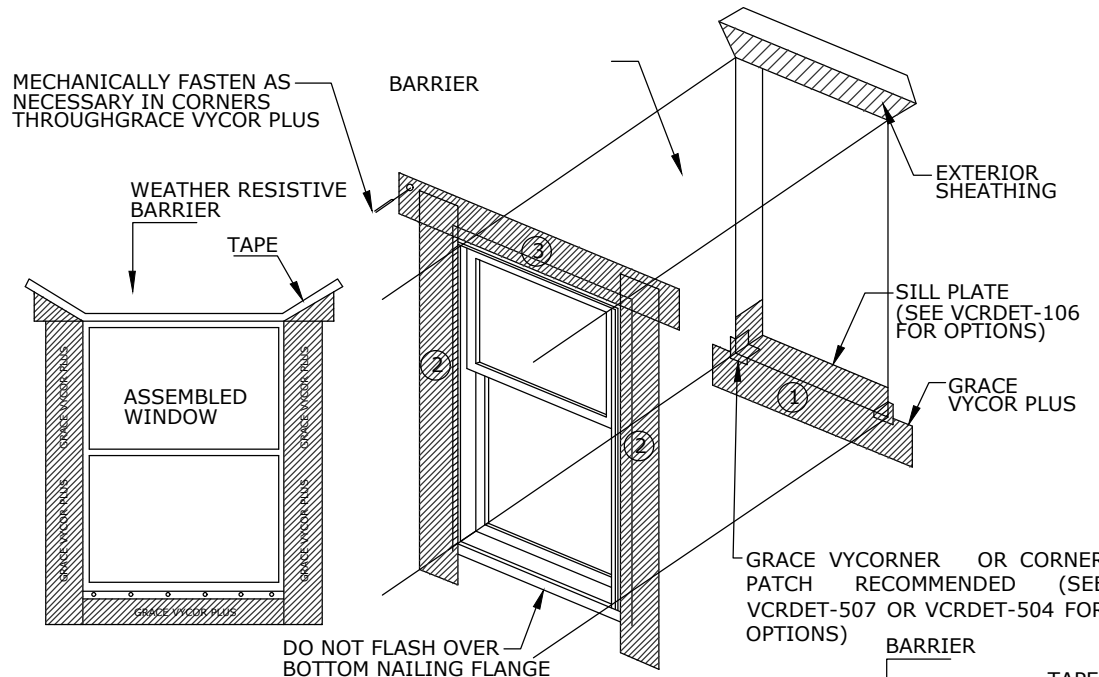
DATED: 11/02/2022

SCALE: 1/4"=1'-0"

JOB NO.: ---

SHEET

A- 4.0
11 OF SHEETS



WINDOWS DETAIL

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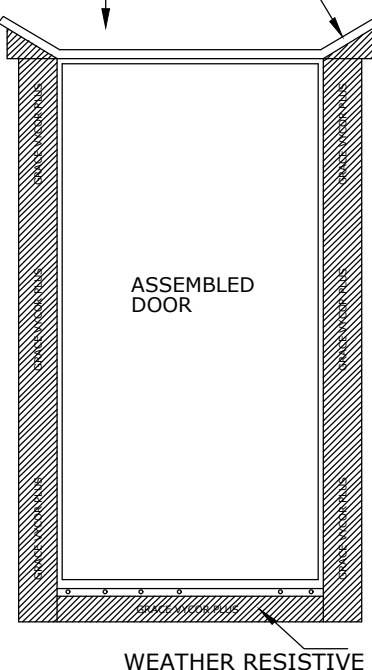
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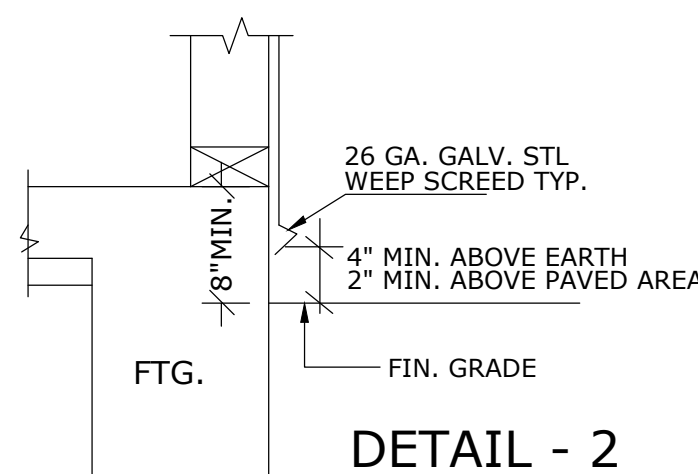
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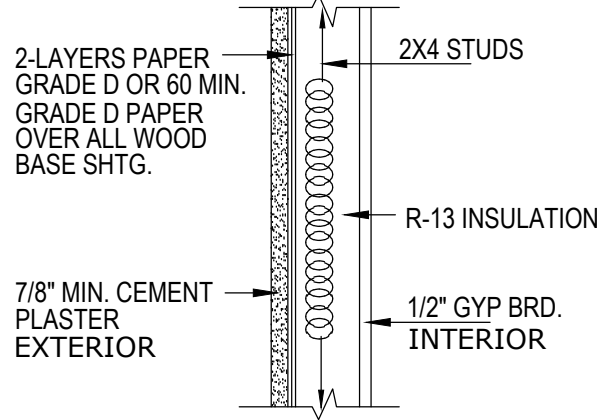
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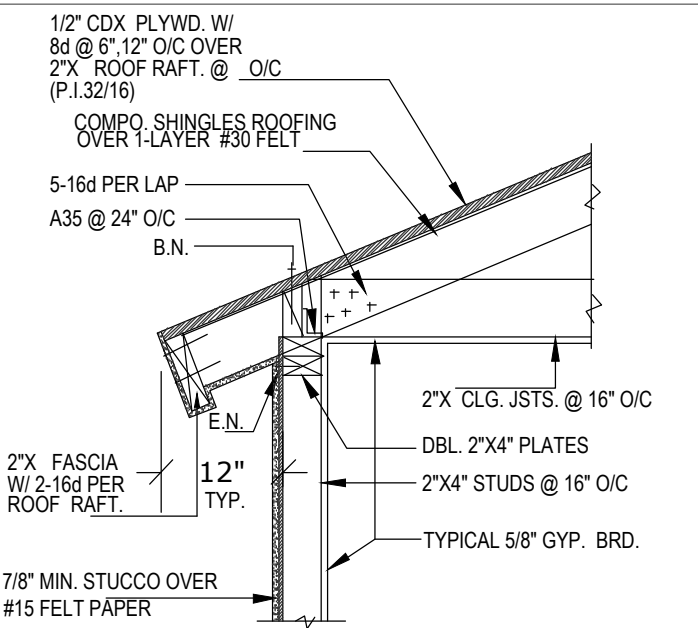
DOORS DETAIL



DETAIL - 2



EXT. WALL DETAIL - B



TYPICAL WALL/ROOF CONSTRUCTION

DETAIL - 3

NOTE:

PROVIDE 44" MAX. SILL HGT. ABOVE FINISH FLOOR FOR EMERGENCY EXIT ON ALL BEDROOM WINDOWS.

ROOFING:

HEAVY WEIGHT TILE BY:
US TILE
ICC ESR -1017
#15 FELT USE GALV. ROOFING
NAILS (FIRE RETARDANT)
MAX. WEIGHT SHALL BE 12 PSF

ATTIC VENTILATION:

ATTIC AREA = 1,742 S.F.
1,742 / 150 = 11.61 S.F. REQUIRED
(16) 24"X12" DORMER VENTS= 10.72 S.F.
(2) 14"X24" LOUVER VENTS = 1.64 S.F.
TOTAL = 12.36 S.F.
PROVIDED

NOTES:

"INSPECTION OF NAILING REQUIRED FOR DRYWALL AND ALL LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SPACING SHALL BE 3/8 INCH MAXIMUM."TWO LAYERS OF GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD WOOD BASE SHEATHING.

NOTE:

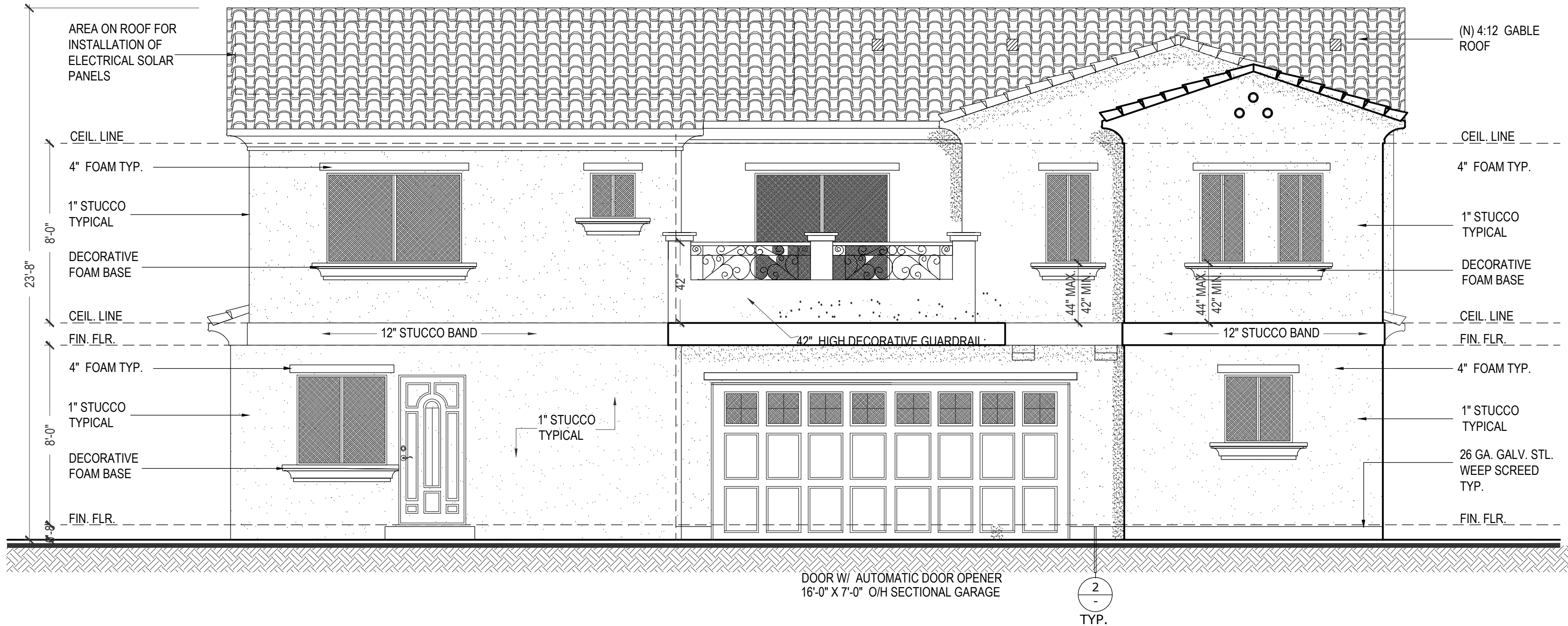
PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) ANTI-GRAFFITI FINISH LARR# 25142 T

NOTES:

PORCHES MUST HAVE A MINIMUM CLEAR HEIGHT OF 7'-0" FOR REQUIRED LIGHT AND VENTILATION. LATH, PLASTER AND DRYWALL TO CONFORM TO THE REQUIREMENTS OF CBC CHAPTER 25.

NOTE:

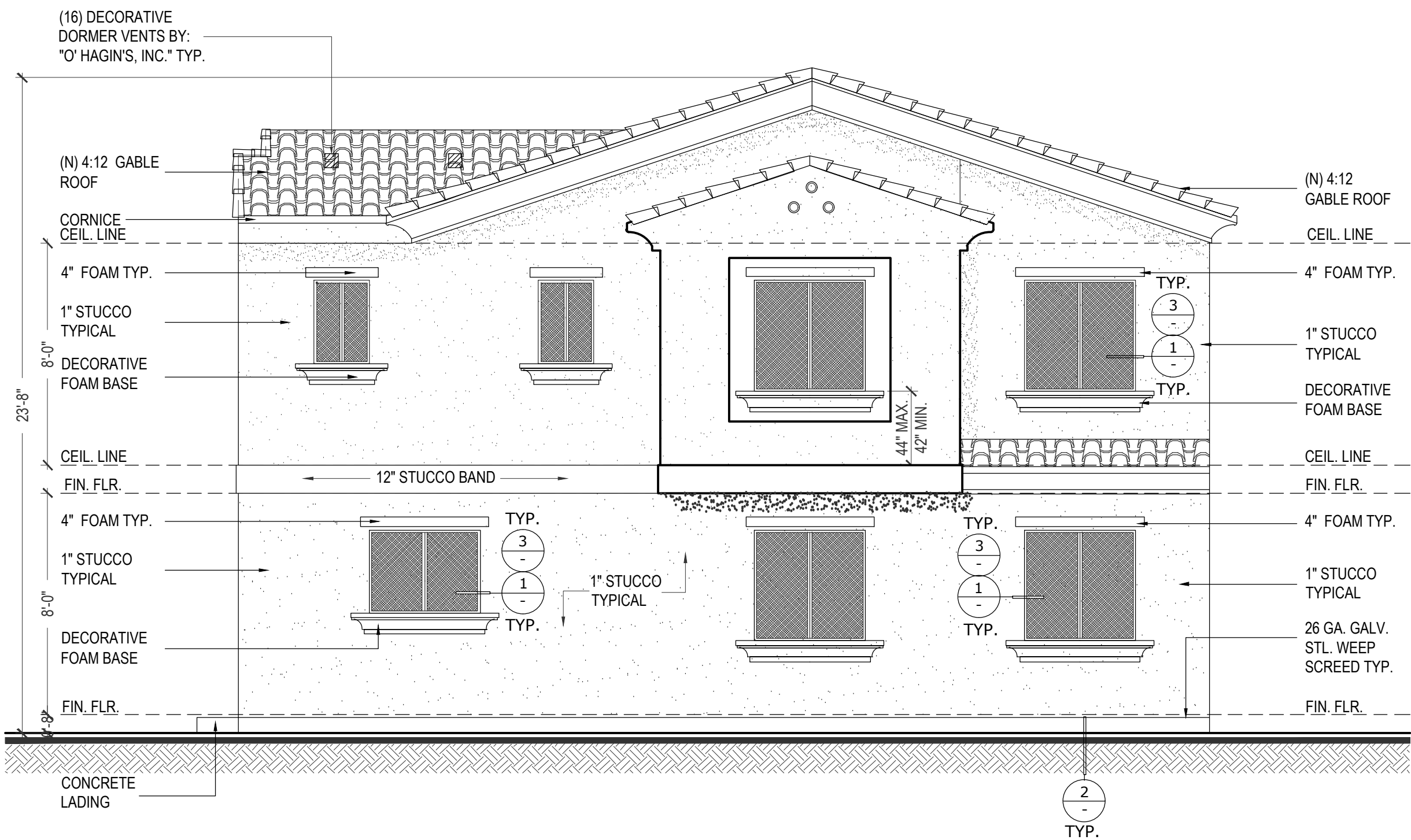
PROVIDE TWO LAYERS OF GRADE "D" PAPER AS THE WEATHER-RESISTIVE BARRIER FOR PORTLAND CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING (SUCH AS PLYWOOD).



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ARCHITECTURAL THEME:

Spanish Pale stucco, arched entries and square window with wood shutters , and tile roofs with overhanging eaves with different roof shapes



EAST ELEVATION
SCALE: 1/4"=1'-0"



8050 E. FLORENCE AVE, SUITE 27
DOWNEY, CA 90240 TEL. (562) 928-5467
E-MAIL: gpfoxdesign@verizon.net

STAMP & SIGNATURES

REVISIONS	DATE

PROJECT DESCRIPTION:

NEW (4) 2- STORY
DUPLEXES
WITH ATTACH
2 CAR GARAGE

PROJECT ADDRESS:

6041 PINE ST
MAYWOOD, CA.
90270

OWNER'S NAME:

GENERAL NOTES:

- VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE DRAFTSMAN IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
- FINISH ELEVATIONS REFERENCED ON THE DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
- WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

TITLE:

ELEVATIONS
BUILDINGS #4 WITH ADU

DRAWN: J.P.M.
CHECKED: GUILLERMO PALAFOX
DATED: 11/02/2022
SCALE: 1/4"=1'-0"
JOB NO.: ---

SHEET

A- 5.0
11 OF SHEETS

